

GENERAL NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL TENNESSEE ONE CALL AND ANY UTILITY THAT DOES NOT SUBSCRIBE TO ONE CALL AT LEAST 72 HOURS BEFORE ANY EXCAVATION, TO REQUEST EXACT FIELD LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. DEVELOPER: REGENCY DEVELOPMENT ASSOCIATES
STEVE TUCKERMAN
226 HALBERTON DR.
FRANKLIN, TENNESSEE 37069-4356
PH. 615-599-1678
3. SURVEY AND SITE DESIGN BY: LAND DEVELOPMENT SOLUTIONS
310 SIMMONS ROAD, SUITE K
KNOXVILLE, TENNESSEE 37922
PH. 865-671-2281
4. PROPERTY IS LOCATED IN COLUMBIA, TENNESSEE (MAURY COUNTY) AND IS ZONED R-20 / REZONED TO RM-1.
5. CLT MAP NO. 99. A PORTION OF PARCEL 60.03 AND PARCEL 17.02.
6. LOT ACREAGE = 10.0 ACRES.
7. TOTAL APARTMENT UNITS = 72 (8 - 1 BR UNITS, 48 - 2 BR UNITS & 16 - 3 BR UNITS).

NOTE THAT THE MAJORITY OF THE PARKING SPACES ARE RADIAL TO THE CENTER LINE OF THE DRIVE AND THE CURB/SIDEWALK. THE RADIAL SPACES WILL VARY IN WIDTH, BUT THE MINIMUM WIDTH OF THE PARKING SPACE SHALL BE 9.5' FOR STANDARD SPACES AND 12.5' FOR DISABLED SPACES. ALL PARKING SPACES SHALL BE 19' IN LENGTH.

PARKING SUMMARY

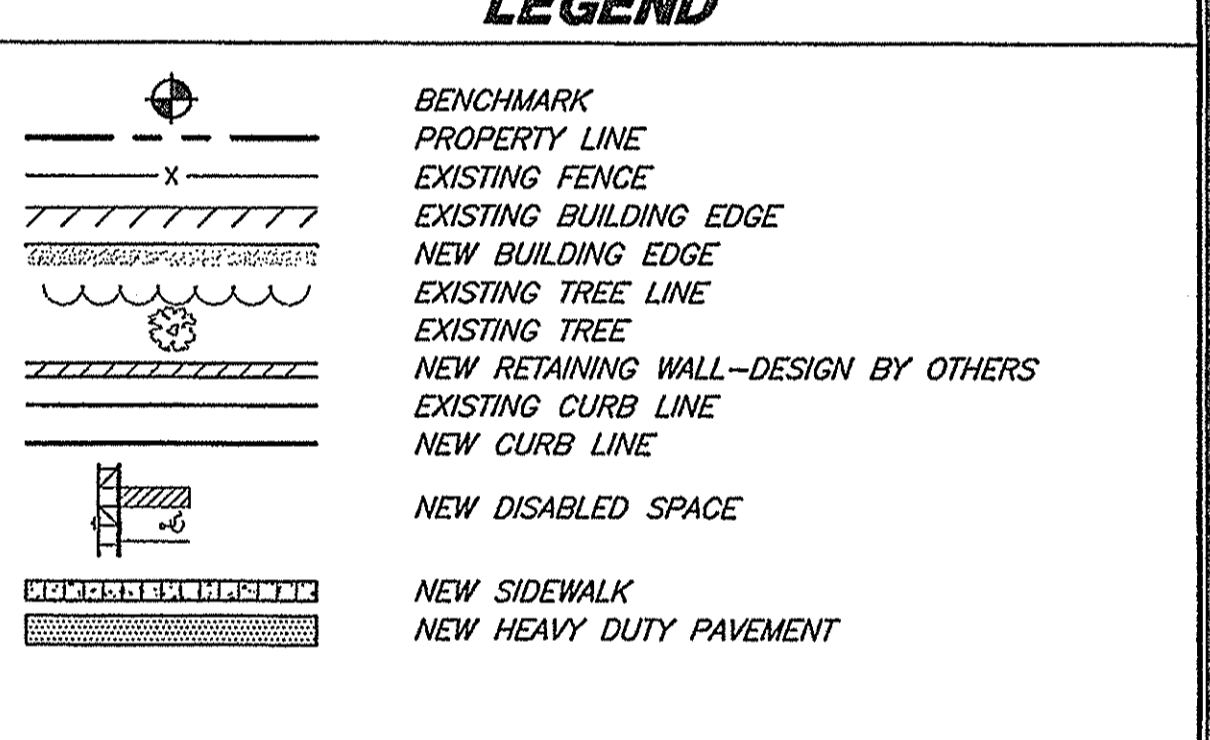
REQUIRED PARKING	USE	UNITS	REQUIREMENTS	REQUIRED
MULTIFAMILY DWELLINGS		72	1.5 SPACES PER DWELLING UNIT	108
			TOTAL SPACES REQUIRED:	108
			ACCESSIBLE SPACES REQUIRED:	5
PROVIDED PARKING			REGULAR SPACES REQUIRED:	103
			PROPOSED ACCESSIBLE SPACES:	8
			PROPOSED REGULAR SPACES:	143
			TOTAL PROPOSED SPACES:	151

BUILDING HEIGHTS

1 BR = 28'-0"
2 BR = 28'-3"
3 BR = 28'-6"

LAYOUT NOTES

1. ALL DIMENSIONS TO CURB LINE REFERENCE FACE OF CURB - SEE DETAIL.
2. SEE ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.
3. SEE UTILITY PLAN FOR NEW AND EXISTING UTILITY LINE LOCATIONS. SEE GRADING AND DRAINAGE PLAN FOR NEW AND EXISTING STORM DRAIN LOCATIONS.



LAND DEVELOPMENT SOLUTIONS
310 SIMMONS RD., SUITE K - KNOXVILLE, TENNESSEE 37922
PH. 865-671-2281
LDS PROJECT NO.

MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C.
215 CHURCH STREET SUITE 200 DECATUR GEORGIA 30030-3329 404-573-2800
RIVER HIGHLANDS APARTMENTS
COLUMBIA, TENNESSEE

ZARRA

C-1

11-05-03
11-15-03
2003-036
9/23/03
BIB

SITE LAYOUT PLAN