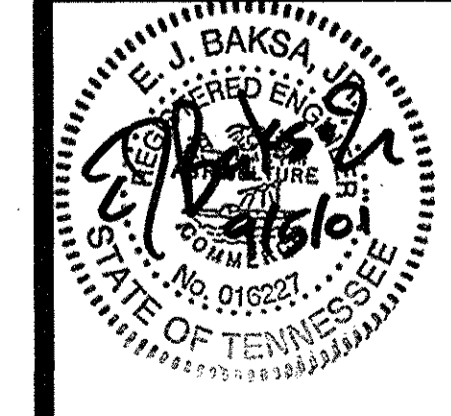
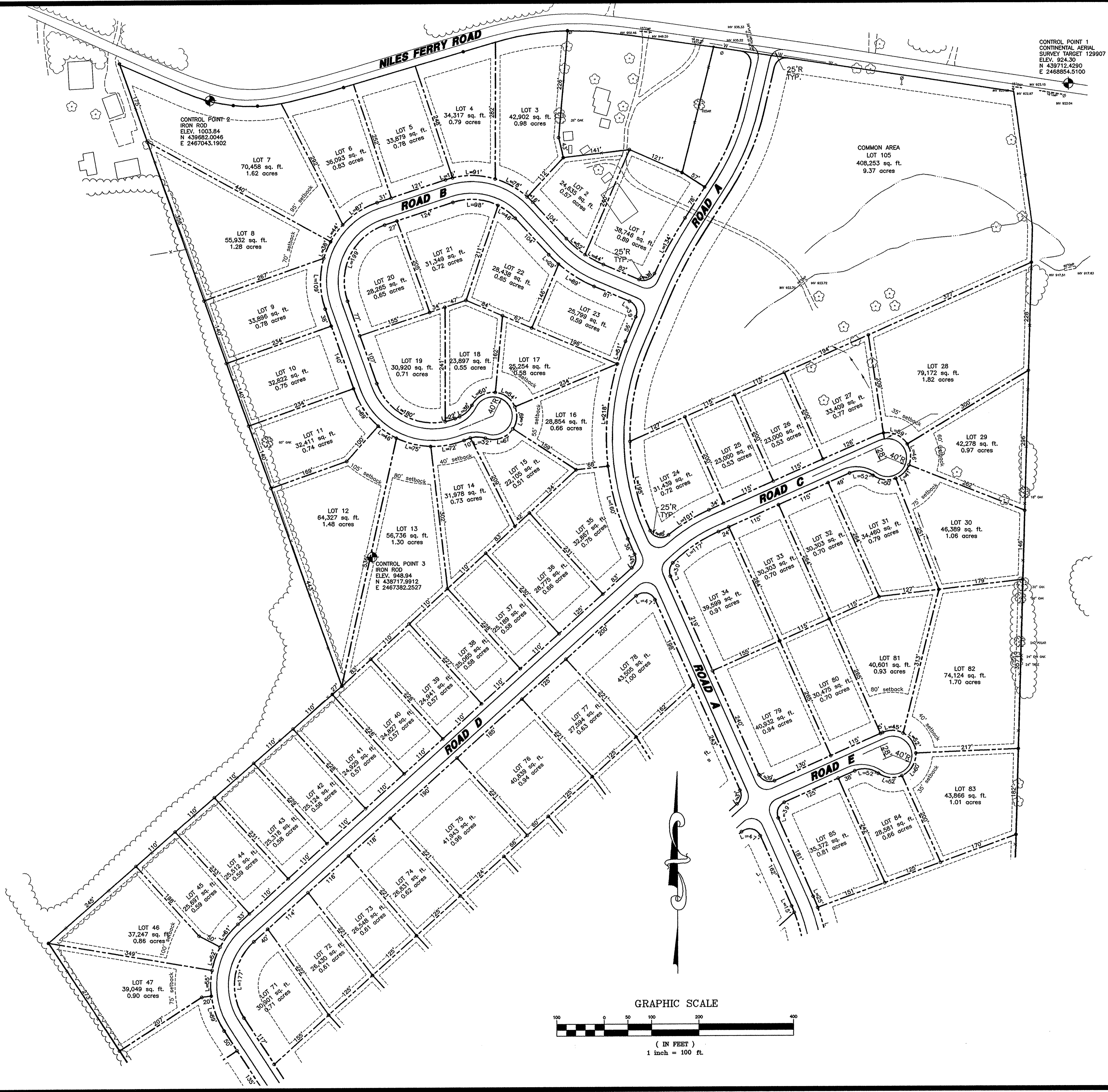


NO.	DATE	REVISION



DRAWN BY	JB
CHECKED	EFB
APPROVED	EFB
JOB NO.	20130

1"=100'
 SCALE DATE



GENERAL NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL TENNESSEE ONE CALL AND ANY UTILITY THAT DOES NOT SUBSCRIBE TO ONE CALL AT LEAST 72 HOURS BEFORE ANY EXCAVATION, TO REQUEST EXACT FIELD LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. SURVEY BY: EARL SIZEMORE
 310 SIMMONS ROAD, SUITE K
 KNOXVILLE, TN 37922
 PH. 865-671-2281
3. PROPERTY IS LOCATED IN MONROE COUNTY.
4. TOTAL ACREAGE = 120.28 ACRES.
 TOTAL NUMBER OF BUILDABLE LOTS = 104.
 TOTAL COMMON AREA = 9.37 ACRES (LOT 105)
5. MINIMUM LOT SIZE = 20,000 S.F. (PUBLIC WATER & PRIVATE SEPTIC SYSTEM)
6. TYPICAL SETBACK LINES:
 FRONT = 30 FEET
 SIDE = 10 FEET (UTILITY & DRAINAGE EASEMENT)
 REAR = 10 FEET (UTILITY & DRAINAGE EASEMENT)
 SIDE = 15 FEET (CORNER LOTS)
7. FRONT SETBACKS MAY INCREASE IN CUL-DE-SAC LOTS IN ORDER TO MEET THE MINIMUM LOT WIDTH OF 100 FEET AT THE SETBACK.

LAYOUT NOTES

1. ALL DIMENSIONS TO CURB LINE REFERENCE FACE OF CURB - SEE DETAIL.
2. SEE UTILITY PLAN FOR NEW AND EXISTING UTILITY LINE LOCATIONS. SEE GRADING AND DRAINAGE PLAN FOR NEW AND EXISTING STORM DRAIN LOCATIONS.

LEGEND

PROPERTY LINE	---
SETBACK LINE	----
EXISTING FENCE	---
EXISTING TREE	⊗
EXISTING TREE LINE	~~~~~
EXISTING WATER LINE	—W—W—

OWNER:
 NILES FERRY LAND MANAGEMENT, LP
 c/o THOMAS ALLISON
 312 POVO ROAD
 MADISONVILLE, TN 37354