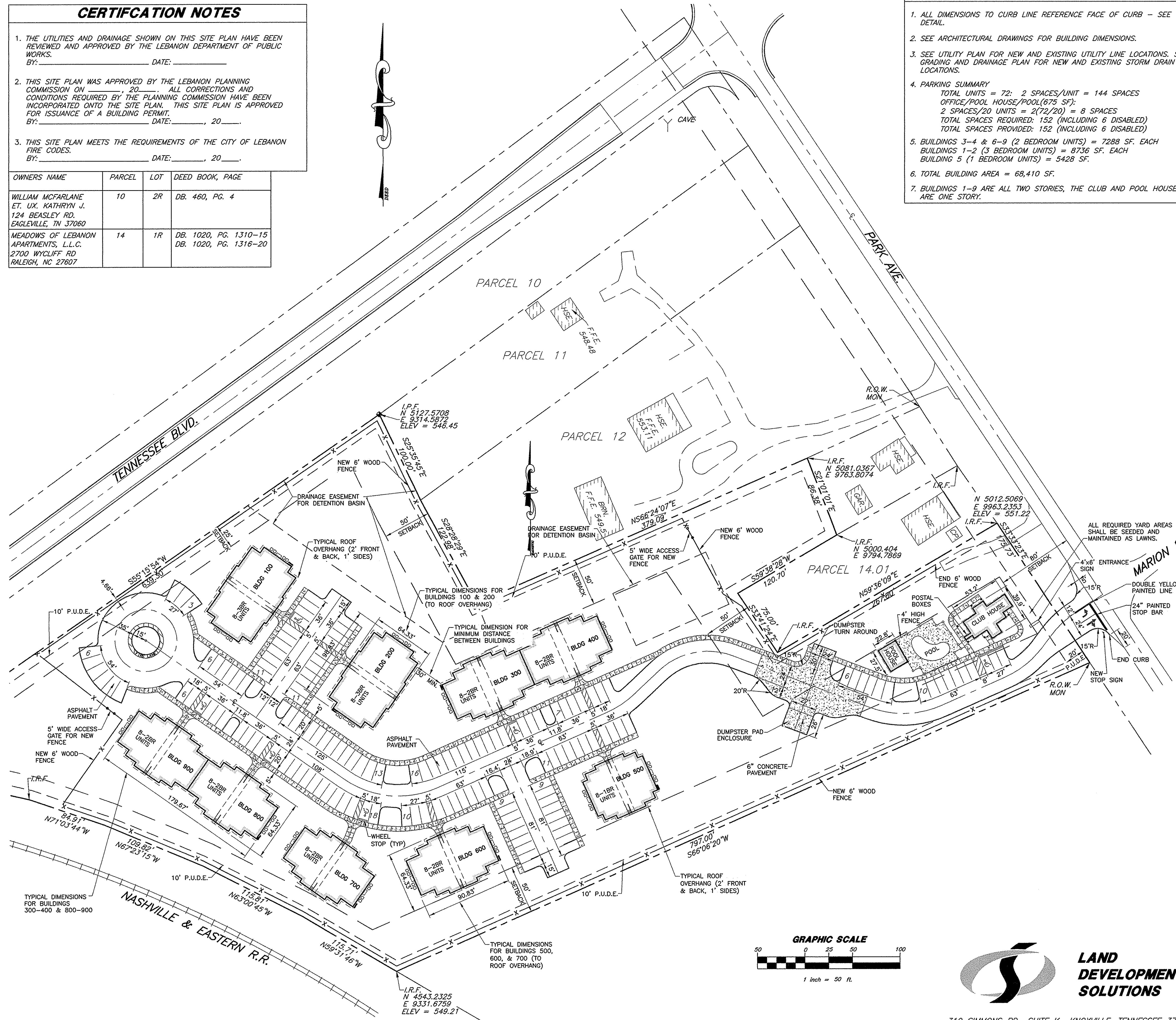


**CERTIFICATION NOTES**

1. THE UTILITIES AND DRAINAGE SHOWN ON THIS SITE PLAN HAVE BEEN REVIEWED AND APPROVED BY THE LEBANON DEPARTMENT OF PUBLIC WORKS.  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_
2. THIS SITE PLAN WAS APPROVED BY THE LEBANON PLANNING COMMISSION ON \_\_\_\_\_, 20\_\_\_\_. ALL CORRECTIONS AND CONDITIONS REQUIRED BY THE PLANNING COMMISSION HAVE BEEN INCORPORATED ONTO THE SITE PLAN. THIS SITE PLAN IS APPROVED FOR ISSUANCE OF A BUILDING PERMIT.  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_.
3. THIS SITE PLAN MEETS THE REQUIREMENTS OF THE CITY OF LEBANON FIRE CODES.  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_.

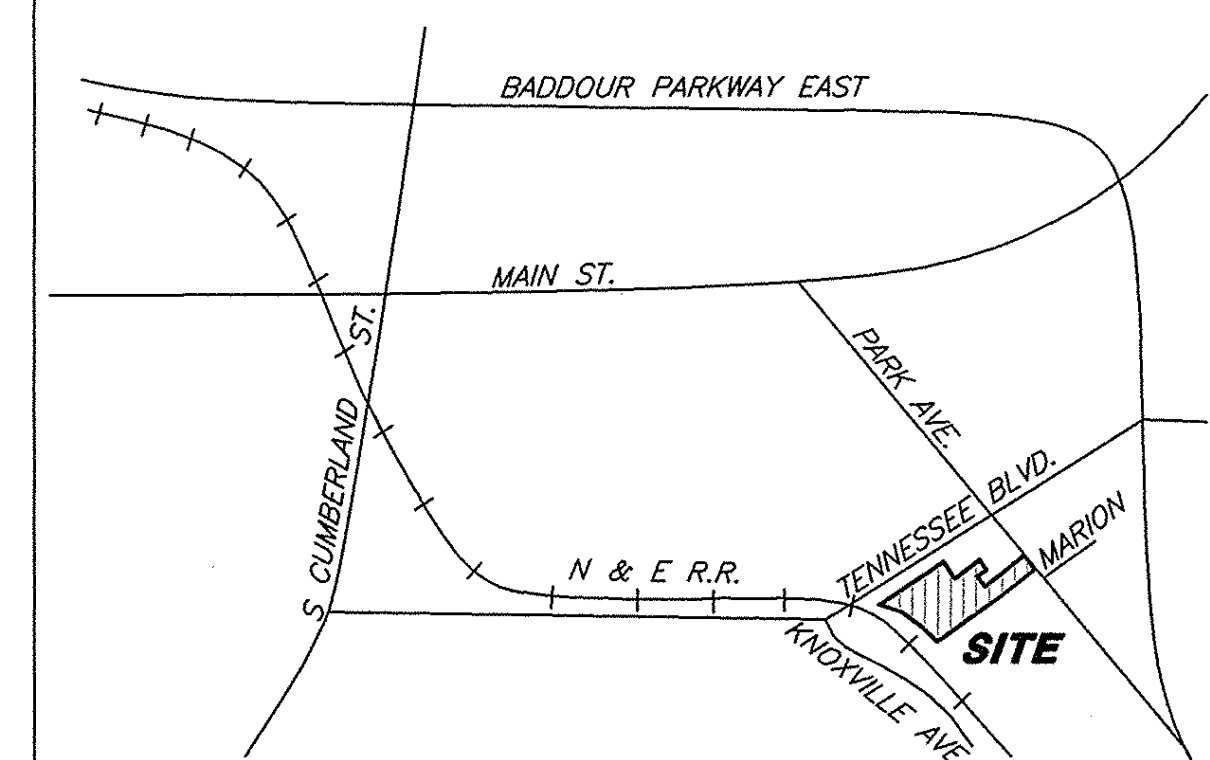
OWNERS NAME	PARCEL	LOT	DEED BOOK, PAGE
WILLIAM MCFARLANE ET. UX. KATHRYN J. 124 BEASLEY RD. EAGLEVILLE, TN 37060	10	2R	DB. 460, PG. 4
MEADOWS OF LEBANON APARTMENTS, L.L.C. 2700 WYCLIFF RD RALEIGH, NC 27607	14	1R	DB. 1020, PG. 1310-15 DB. 1020, PG. 1316-20



**LAYOUT NOTES**

1. ALL DIMENSIONS TO CURB LINE REFERENCE FACE OF CURB - SEE DETAIL.
2. SEE ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.
3. SEE UTILITY PLAN FOR NEW AND EXISTING UTILITY LINE LOCATIONS. SEE GRADING AND DRAINAGE PLAN FOR NEW AND EXISTING STORM DRAIN LOCATIONS.
4. PARKING SUMMARY  
TOTAL UNITS = 72; 2 SPACES/UNIT = 144 SPACES  
OFFICE/POOL HOUSE/POOL(675 SF):  
2 SPACES/20 UNITS = 2(72/20) = 8 SPACES  
TOTAL SPACES REQUIRED: 152 (INCLUDING 6 DISABLED)  
TOTAL SPACES PROVIDED: 152 (INCLUDING 6 DISABLED)
5. BUILDINGS 3-4 & 6-9 (2 BEDROOM UNITS) = 7288 SF. EACH  
BUILDINGS 1-2 (3 BEDROOM UNITS) = 8736 SF. EACH  
BUILDING 5 (1 BEDROOM UNITS) = 5428 SF.
6. TOTAL BUILDING AREA = 68,410 SF.
7. BUILDINGS 1-9 ARE ALL TWO STORIES, THE CLUB AND POOL HOUSES ARE ONE STORY.

**LOCATION MAP**

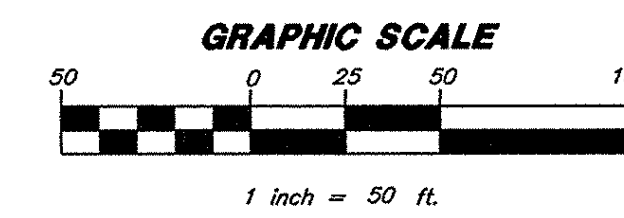


**GENERAL NOTES**

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL TENNESSEE ONE CALL AND ANY UTILITY THAT DOES NOT SUBSCRIBE TO ONE CALL AT LEAST 72 HOURS BEFORE ANY EXCAVATION, TO REQUEST EXACT FIELD LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. DEVELOPER: STEVE ENGLISH  
REGENCY DEVELOPMENT ASSOCIATES  
2700 WYCLIFF RD, SUITE 312  
RALEIGH, NC 27607  
(919) 510-9660
3. SURVEY BY: LAND DEVELOPMENT SOLUTIONS  
310 SIMMONS RD SUITE K  
KNOXVILLE, TENNESSEE 37922  
(865) 671-2281
4. DESIGNED BY: E.J. BAKSA JR.  
LAND DEVELOPMENT SOLUTIONS  
310 SIMMONS RD SUITE K  
KNOXVILLE, TENNESSEE 37922  
(865) 671-2281
5. PROPERTY BEING DEVELOPED IS SHOWN ON TAX MAP 561" AND IS PART OF PARCELS 12, & 14.
6. PROPERTY IS LOCATED IN CITY OF LEBANON, WILSON CO. TN AND IS ZONED B-1.
7. LOT ACREAGE = 8.05 ACRES.
8. MINIMUM REQUIRED LOT AREA = (6000 + 71\*3000) = 219,000 S.F. = 5.03 ACRES
9. TAX MAP - 671 GROUP F  
PARCEL NUMBER - 12 & 14
10. DRAINAGE EASEMENTS OUTSIDE DEDICATED ROW'S ARE NOT THE RESPONSIBILITY OF THE CITY OF LEBANON.
11. ROAD GRADES SHALL NOT EXCEED TEN (10) PERCENT
12. NO CUT, FILL, OR CONSTRUCTION WITHIN TWENTY-FIVE (25) FEET OF TOP OF STREAM BANK, SINKHOLE, DEPRESSION UNLESS OTHERWISE NOTED.
13. THIS PROPERTY IS NOT IN AN AREA DESIGNATED AS A SPECIAL FLOOD AREA, AS SHOWN ON COMMUNITY MAP/PANEL NUMBER 47020B/0010C, EFFECTIVE DATE 2/3/1993.
14. THIS DEVELOPMENT IS TO BE SERVED BY PUBLIC SANITARY SEWER.
15. THE BUILDING & PAVING COVERAGE IS APPROXIMATELY 37% LEAVING 63% OF THE SITE AS LAWNS/WOODS/LANDSCAPING.
16. ALL BUILDINGS WILL HAVE LANDSCAPING PLACED ALONG THE FRONT OF THE BUILDING.

**LEGEND**

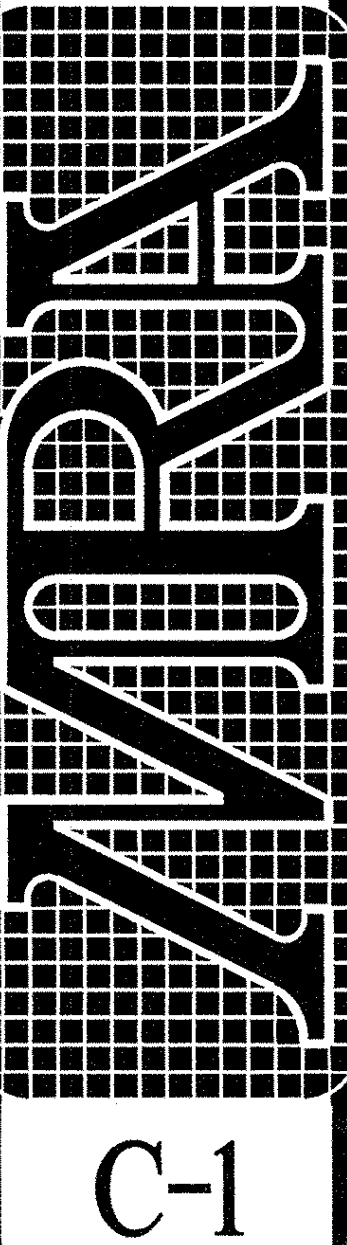
	BENCHMARK
	IRON ROD FOUND
	EXISTING FENCE
	EXISTING BUILDING EDGE
	NEW BUILDING EDGE
	EXISTING TREE LINE
	EXISTING TREE
	NEW RETAINING WALL-DESIGN BY OTHERS
	EXISTING CONTOURS
	EXISTING CREEK OR DITCH
	EXISTING CATCH BASIN
	EXISTING HEADWALL
	EXISTING STORM MANHOLE
	EXISTING WATER LINE
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING FIRE HYDRANT
	EXISTING WATER MANHOLE
	EXISTING SANITARY MAIN
	EXISTING SANITARY MANHOLE
	EXISTING GAS MAIN
	EXISTING GAS VALVE
	EXISTING UNDERGROUND FIBER OPTIC LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING OVERHEAD LINE
	EXISTING ELECTRIC MANHOLE
	EXISTING POWER POLE
	EXISTING LIGHT POLE



310 SIMMONS RD., SUITE K • KNOXVILLE, TENNESSEE 37922  
PH. 865-671-2281 LDS PROJECT NO. 20352

**MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C.**  
215 CHURCH STREET SUITE 200 DECATUR GEORGIA 30030-3329 404-373-2800

**MEADOWS OF LEBANON**  
LEBANON, TENNESSEE



REVISIONS

2-24-04	REVISED	DATE
3-10-04	REVISED	DATE

PROJECT: MEADOWS OF LEBANON  
DATE: 09-24-03  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: AS SHOWN  
CITY: LEBANON, TN  
JOB NO. 20352

SITE LAYOUT PLAN

C-1